

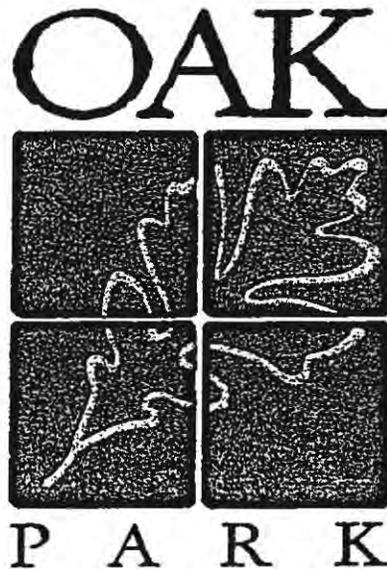
**THE OAK PARK  
ARCHITECTURAL CODE**

**THE OAK PARK CIVIC ASSOCIATION, INC.**

# Introduction

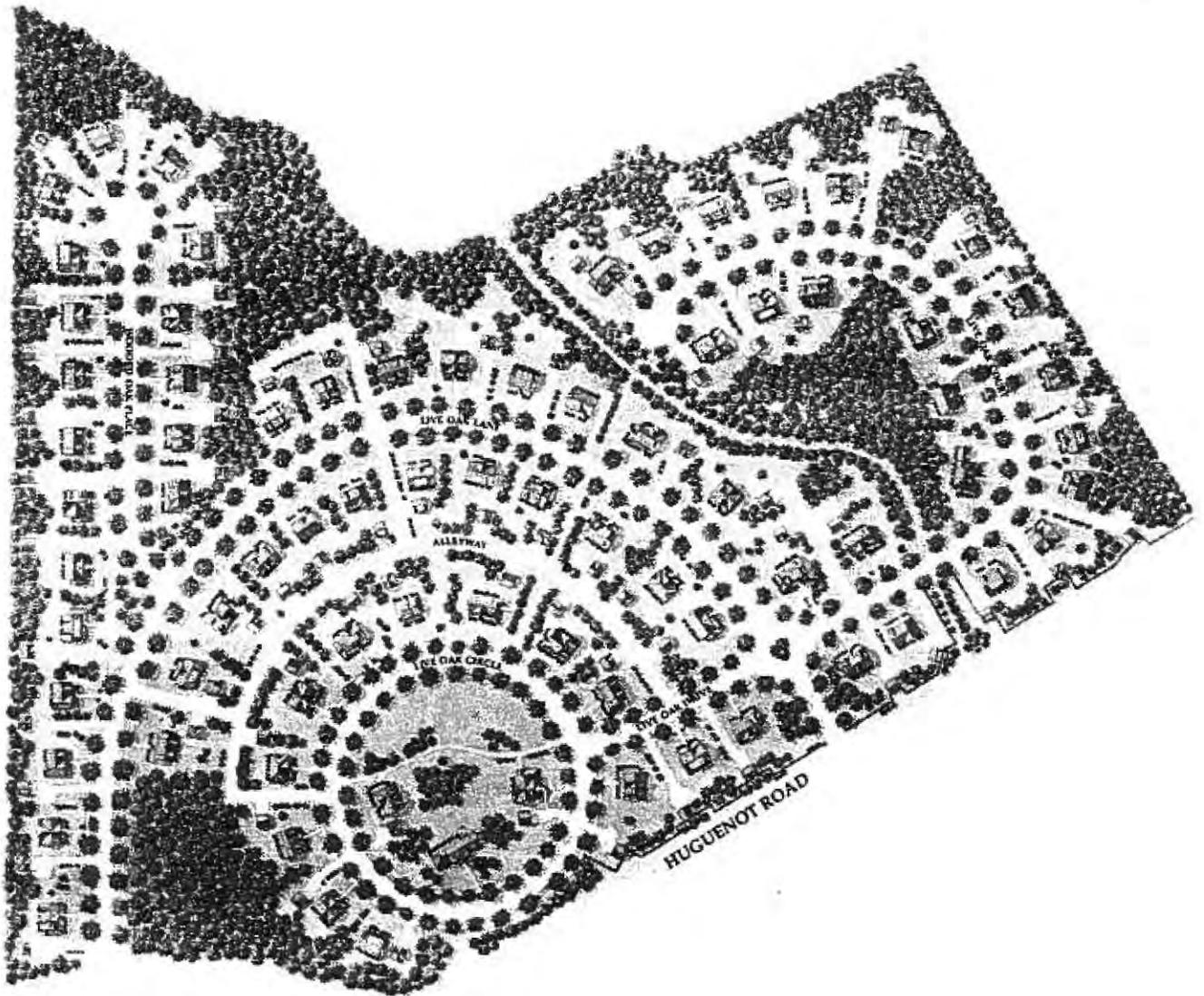
Inspired by the residential heritage of well-loved Richmond neighborhoods like Ginter Park, the Oak Park Architectural Code is a guide to the principles of traditional design that will help shape a friendly, intimate place where family and community life thrive at a neighborhood scale. The Code seeks to establish a design context for the neighborhood within which residents have the opportunity to plan and build homes and landscapes that depend for their beauty on a sense of Richmond's residential heritage. By stressing architectural and design principles rather than strict guidelines or standard house plans, the Architectural Code offers residents the freedom to design homes of unique and distinctive character, while assuring that each home will contribute as well to the pleasing coherence of the neighborhood as a whole.

The Oak Park Architectural Code is meant to give residents a framework for the design and construction of a unique neighborhood. It does not mandate house sizes, nor does it attempt to distinguish sections or streets within the neighborhood by house price. To the contrary, it provides great freedom of expression within the overall design context by encouraging people to take an active part in the activities of building their homes, their yards and gardens, and their larger surroundings, thus making the whole place more than the sum of its parts. In such an environment, protected by the consistent application of the Architectural Code, everything is made more valuable, and only gets better as time goes by.



# The Plan of Oak Park

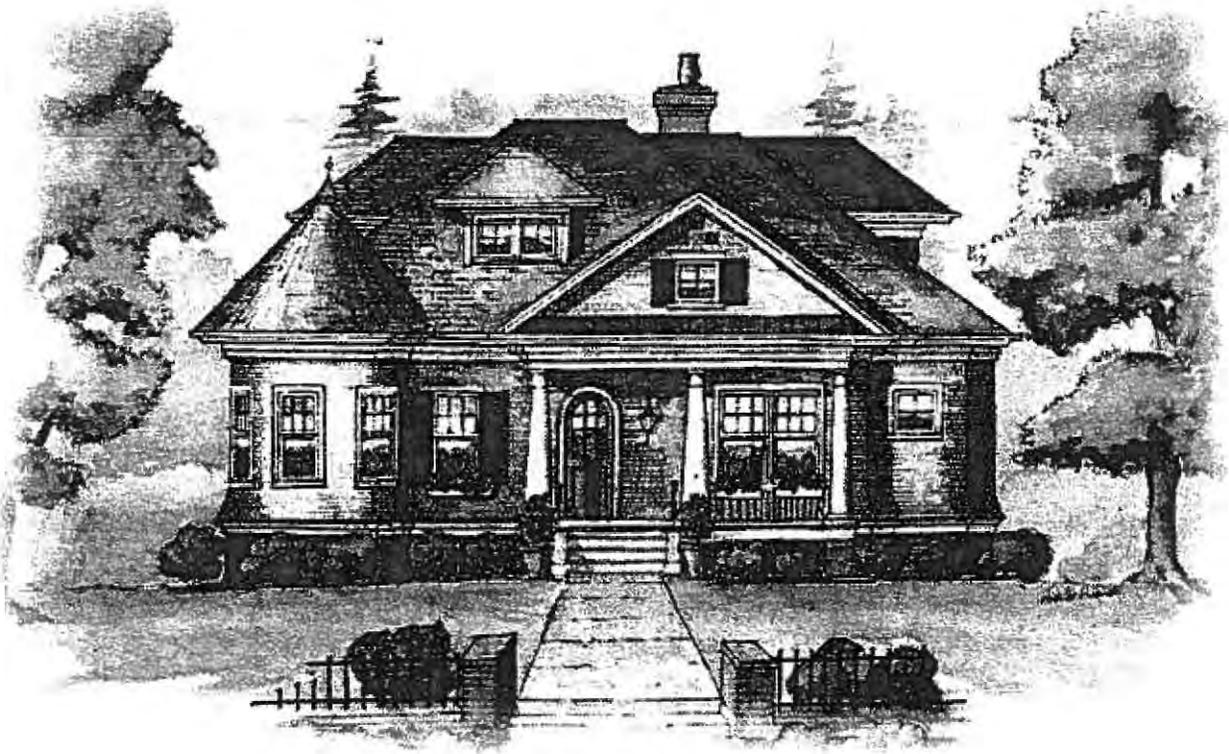
The Plan of Oak Park illustrates the overall layout of the streets, alleyways, lots, sidewalks, pathways, Central Park and open spaces that make up the neighborhood. The Plan has been designed so that homes and landscapes blend together seamlessly with the streets and open spaces for a comfortable balance of private and public, individual and community.



# Architecture

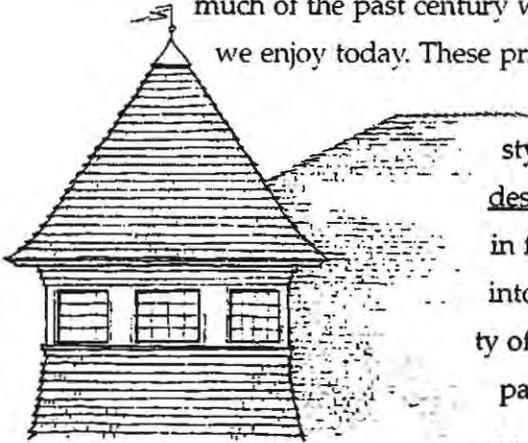
The Oak Park Architectural Code promotes a faithfulness to traditional Richmond home design and landscaping and the use of enduring, quality building materials. The Architectural Code specifies those materials and building techniques that contribute to the character and charm of the neighborhood, with as much emphasis placed on the land surrounding each home as on the home itself.

Particular features of Oak Park homes can include functional, inviting front porches and stoops, wood and iron fences and hedges along the sidewalks, operable window shutters, real wood exterior doors, painted siding materials, as well as detached garages on many homesites. Some homes in the neighborhood are intended to be historically accurate renditions of a few of Richmond's wonderful older residences.



# Traditional Richmond Design

Oak Park's character is based on the simple design principles practiced in Richmond and elsewhere for much of the past century which give our older neighborhoods the charm and distinctiveness we enjoy today. These principles do not refer to an architectural "style" (e.g., "Victorian" or

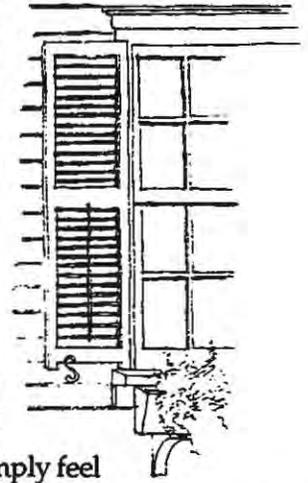


"Georgian"), but lie behind and beneath all of the memorable styles from various architectural eras. By adhering to fundamental design principles rather than promoting strict guidelines which result in few individual design expressions, Oak Park is intended to evolve into a collection of distinctive homes and gardens featuring a diversity of home sizes and designs which, in the end, fit together to form the pattern of a real neighborhood.

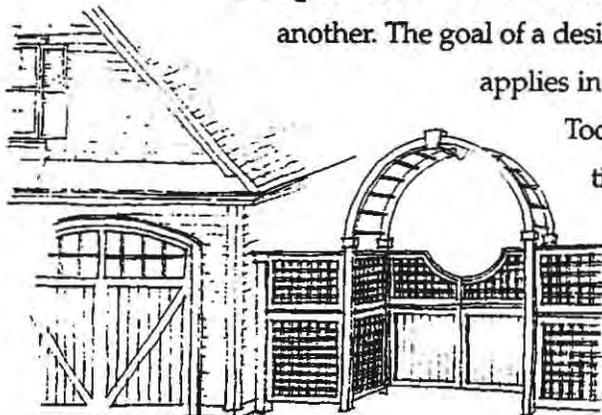
The application of traditional design principles works to create broad neighborhood patterns as well as the individual features of each home within the neighborhood. When the principles of **scale, proportion, balance, rhythm and order** are followed, the result is easily seen and felt. Even when we cannot explain in words why a particular place or building may "feel" right, something inside of us is responding to the designer's proper use of these principles.

Oak Park's homes, gardens and parks seek to promote the proper use of these traditional design principles as follows:

**Scale** — This is the measure of the relationship or apparent size of a building or space to the dimensions of the human body. It is the most important factor in determining a building's compatibility within its setting, both in terms of the space it occupies and the space between it and the adjacent buildings. Homes sized to human scale and properly set on their homesites simply feel better than those that are too big and too close together – a common condition in today's suburban developments.

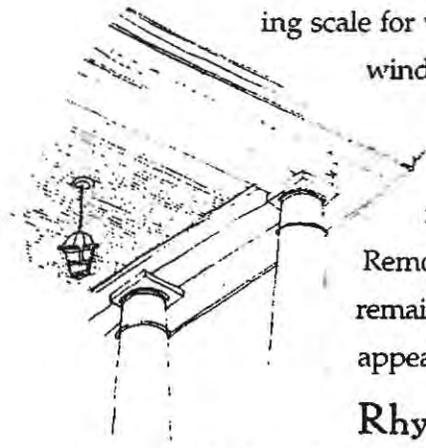


**Proportion** — This is the relation of one portion of a building or design element to another. The goal of a design in seeking proportion is the creation of visual order. This applies in a major way to window and door sizes on a house façade.



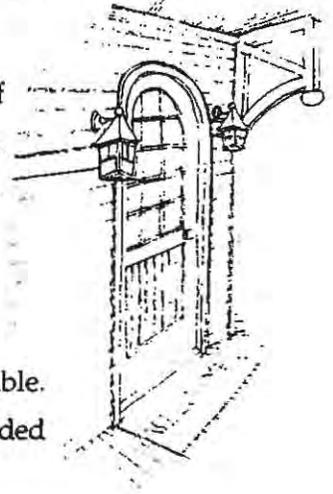
Too many homes built in the recent past fail to exhibit proportion, seeking instead to maximize architectural "impact" with oversized windows, entries and other prominent features.

**Balance** — This is the visual relationship of the design elements of a building to each other, much like a balanc-

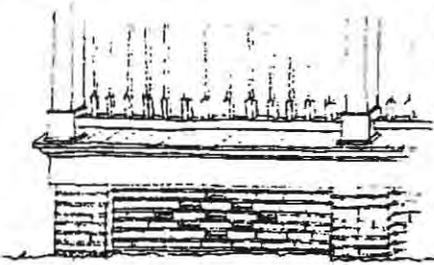


ing scale for weighing objects. For example, a home with an entry in the middle and all windows and other design elements equally distributed on the façade is said to be “in balance.” Complex façades risk losing a home’s feeling of balance – a condition common to today’s “transitional” designs. Overly prominent garage placements also upset a home’s balanced appearance. Removing the garage from the front of a house to the rear (either detached or remaining attached) can do much to restore a home’s look and appeal – a design concept encouraged at Oak Park.

**Rhythm and Order** — The visual impact of design elements used alternatively on a façade creates a rhythm we feel as we view a building. How all the elements work together gives a design its “order.” Many of Williamsburg’s most famous buildings have very symmetrical structures and used windows and doors of equal size. These buildings had rhythm and order – and still do. However, in many cases, it is the absence of rhythm and order in a design that is noticeable. How many times have we looked at a home or other building and concluded that it simply looked “too busy”?



Adherence to these simple principles has worked for decades in the way we now perceive our older neighborhoods, like Ginter Park and others all around Richmond. Even though our modern lifestyles require

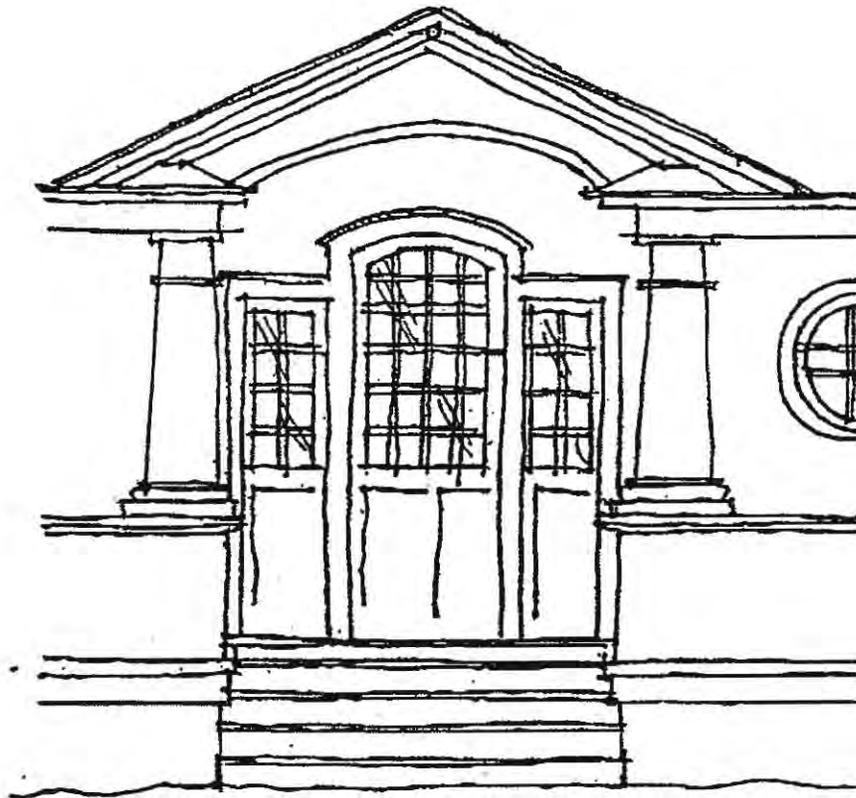


home designs and building materials and techniques different in many details from the those of the past, the lessons these traditional Richmond neighborhoods teach us are universal and time-tested – and are clearly applicable to today. Oak Park will be a better place to live today and in the future because of the lessons learned from the past.

# Architectural Standards

The goals of Oak Park are best achieved by choosing thoughtful designs and long-lasting materials of substance with which to build the neighborhood. The architectural standards specify the materials and building techniques that contribute to the character of the homes and private gardens within Oak Park. Just as much emphasis has been placed on the land surrounding the home as on the home itself, since each must complement the other. In addition, selections have been made that promote the use of traditional Richmond building materials and finishes that have stood the test of time. Where appropriate, the use of modern building materials complementary to the vision of a traditional neighborhood are encouraged in the Architectural Code.

Administration and final interpretation of the Architectural Code has been placed in the hands of the Oak Park Design Review Committee, which is made up of a representative of the developer of Oak Park and a panel of practicing architects and landscape architects who participated in the design of this neighborhood. A separate section of the Architectural Code outlines the process and procedures related to the design review process for all new building construction within Oak Park.



# THE OAK PARK ARCHITECTURAL CODE

## Standards for the Selection and Use of Building Materials

DESIGN ELEMENT	MATERIALS	STYLE OR CONFIGURATION	GENERAL NOTES
Exterior Building Walls (Main and Accessory Buildings)	<ol style="list-style-type: none"> <li>1 Wood clapboard</li> <li>2 Wood shingle</li> <li>3 Wood board &amp; batten</li> <li>4 "Hardiplank," in lieu of wood</li> <li>5 Brick</li> <li>6 Stucco</li> <li>7 "Fypon"-type trim elements, painted</li> </ol>	<ol style="list-style-type: none"> <li>1 All foundation walls to be brick, stone or stucco</li> <li>2 Masonry walls to have water table extending to grade on elevations visible from the street</li> <li>3 Lintels or jack arches above all openings when building wall is brick</li> <li>4 Brick and mortar colors from approved master list only</li> <li>5 Stucco with sand or trowelled finish</li> <li>6 All clapboards to have minimum 3 1/2" to 6" exposure</li> <li>7 All shingles to have from 4" to 6" exposure</li> <li>8 All trim to be 5/4" or more</li> </ol>	
Exterior Trim	<ol style="list-style-type: none"> <li>1 Wood trim at all corners and openings of houses with wood walls</li> <li>2 Wood soffit, fascia and cornice</li> </ol>	<ol style="list-style-type: none"> <li>1 Wood corners at 3 1/2" minimum width</li> <li>2 Frieze at 6" minimum on wood walls</li> <li>3 Frieze at 10" minimum on brick and stucco walls</li> </ol>	
Fireplace Chimneys	<ol style="list-style-type: none"> <li>1 Masonry</li> <li>2 Masonry or clay chimney caps</li> <li>3 Prefabricated wood burning unit</li> <li>4 Gas FP to vent vertically in enclosed chimney (no direct vent)</li> <li>5 Prefab metal chimney caps to be shrouded</li> <li>6 Exterior of chimney to be masonry</li> </ol>	<ol style="list-style-type: none"> <li>1 Must be brick or stucco if chimney is visible from any street view</li> <li>2 Chimneys to extend to ground</li> <li>3 No exposed flues</li> </ol>	
Porches and Decks	<ol style="list-style-type: none"> <li>1 Brick, stone or stucco piers</li> <li>2 Wood or fiberglass columns</li> <li>3 Wood or masonry posts and balustrades</li> <li>4 Wrought iron or cast aluminum railings</li> <li>5 Pressure treated materials prohibited on front and side porches and discouraged elsewhere</li> <li>6 Front and side porch ceilings to be beaded board or similar decorative design</li> </ol>	<ol style="list-style-type: none"> <li>1 Piers no less than 16" x 16"</li> <li>2 Wood or brick lattice or louvers to be placed between porch piers</li> <li>3 No posts less than 6" x 6"</li> <li>4 Porch arches no less than 8" in depth</li> <li>5 All wood elements must be painted or stained</li> <li>6 No pressure treated deck materials visible from front of any house, or front or side of any corner lot house</li> </ol>	<ol style="list-style-type: none"> <li>1 Porch elements to vary from house to house to encourage variety</li> <li>2 Rear patios encouraged in lieu of pressure treated wood decks</li> </ol>
Roofs	<ol style="list-style-type: none"> <li>1 Dimensional "Architectural Grade" asphalt shingles (30-year minimum)</li> <li>2 Cedar or pine shakes</li> <li>3 Slate or artificial slate</li> <li>4 Standing seam metal (24 gauge or higher)</li> <li>5 Decorative gutters and downspouts</li> <li>6 Copper or aluminum flashing</li> </ol>	<ol style="list-style-type: none"> <li>1 Main roof: symmetrical gable or hip with minimum slope at 6:12</li> <li>2 No flat roofs, except as usable deck area enclosed by balustrade, parapet, or at peak of sloped roofs</li> <li>3 Accessory buildings (e.g., garages, sheds) to have minimum slope at 5:12 in shed, hip or gable</li> <li>4 Flashing to be copper or aluminum to match roof color</li> </ol>	<ol style="list-style-type: none"> <li>1 No roof penetrations to be placed on front of house, except approved dormers or other architectural elements</li> </ol>
Windows and Shutters	<ol style="list-style-type: none"> <li>1 Wood windows</li> <li>2 Solid vinyl windows</li> <li>3 Vinyl clad windows</li> <li>4 Wood shutters</li> <li>5 Wood or masonry sill projecting enough for drip kerf</li> </ol>	<ol style="list-style-type: none"> <li>1 Rectangular sash with vertical orientation</li> <li>2 Real divided light window muntins to create panes of square or vertical proportion</li> <li>3 Minimum 4" mullion between windows if multiple windows placed in same opening</li> <li>4 Shutters to be operable and sized to match openings, with metal holdbacks</li> <li>5 Dormer windows sized to "fill" dormer</li> </ol>	<ol style="list-style-type: none"> <li>1 All windows to have exterior trim with substance, and matched to the architecture of the house</li> </ol>

# THE OAK PARK ARCHITECTURAL CODE

## Standards for the Selection and Use of Building Materials

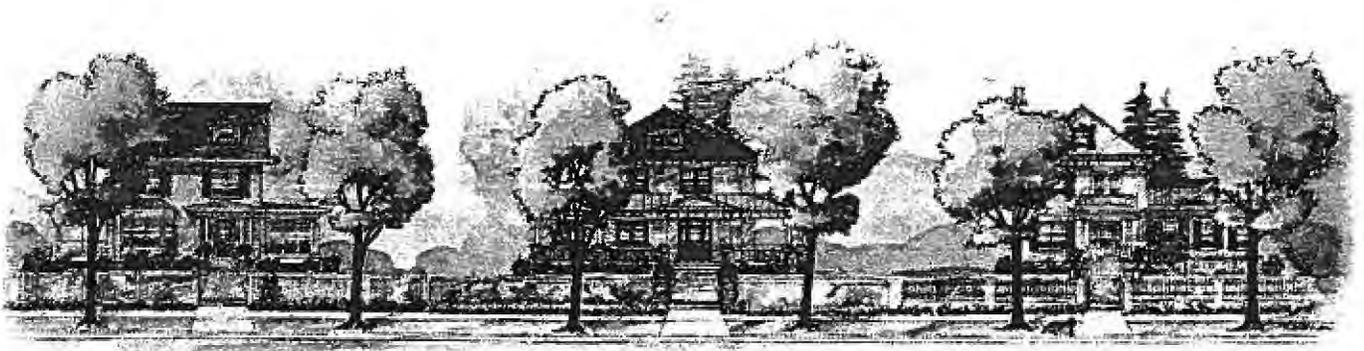
DESIGN ELEMENT	MATERIALS	STYLE OR CONFIGURATION	GENERAL NOTES
House and Garage Doors	<ol style="list-style-type: none"> <li>1 Wood house doors, painted or stained</li> <li>2 Fiberglass house doors</li> <li>3 Door hardware to be non-plated material</li> <li>4 Wood garage doors</li> <li>5 Metal garage doors with windows</li> </ol>	<ol style="list-style-type: none"> <li>1 Garage fronts visible from any street must use double doors with decorative arch or other feature above each door</li> </ol>	<ol style="list-style-type: none"> <li>1 No unpainted garage doors</li> </ol>
Exterior Lighting and Accessories	<ol style="list-style-type: none"> <li>1 Exterior lighting to be non-plated material</li> <li>2 HVAC equipment and trash screening to be consistent with house materials</li> <li>3 Front lamppost to be consistent with house design and trim color</li> </ol>	<ol style="list-style-type: none"> <li>1 Front house lamppost to be powered by photocell</li> <li>2 Spotlights from walls or roof eaves in rear only</li> </ol>	<ol style="list-style-type: none"> <li>1 All electric meters, A/C compressors and trash cans shall not be visible from any street or adjacent properties or public spaces</li> </ol>
Fences, Walls and Hedges	<ol style="list-style-type: none"> <li>1 Wood pickets</li> <li>2 Wrought iron or cast aluminum</li> <li>3 Brick or stucco to match house</li> <li>4 Wood pickets or iron/aluminum in combination with brick or stucco</li> <li>5 Hedge (no higher than 42")</li> <li>6 Hedge in combination with above materials</li> <li>7 See Landscape Standards for suitable hedge planting materials</li> <li>8 Gates to be suitable grade of wood, iron or aluminum to withstand years of use</li> </ol>	<ol style="list-style-type: none"> <li>1 Height of front fences or walls not to exceed elevation of porch floor, with maximum height of 36"</li> <li>2 Height of side or rear fences or walls not to exceed 60"</li> <li>3 Side fences adjacent to pathway easements to be 48" high and must have a working gate onto the pathway</li> <li>4 All front fences to have a gate or a decorative opening for the front walk to the house</li> <li>5 Front fences to be no more than 18" from sidewalk</li> </ol>	<ol style="list-style-type: none"> <li>1 Sideyard fences built past front plane of house to be treated as front fence</li> <li>2 Sideyard fences to be built at least 6" from property line</li> <li>3 No "dueling" sideyard fences between properties</li> </ol>
Driveways and Front Walks	<ol style="list-style-type: none"> <li>1 Acceptable driveway materials: <ul style="list-style-type: none"> <li>• Crushed granite or pea gravel</li> <li>• Brick</li> <li>• Slate or stone</li> <li>• Exposed aggregate concrete</li> <li>• Asphalt (driveway off alley only)</li> </ul> </li> <li>2 Acceptable front walkway materials: <ul style="list-style-type: none"> <li>• Crushed granite or pea gravel</li> <li>• Brick</li> <li>• Slate or stone</li> <li>• Exposed aggregate concrete</li> <li>• Brushed concrete</li> </ul> </li> </ol>	<ol style="list-style-type: none"> <li>1 Driveways to be no more than 12 feet wide</li> <li>2 Central grass strips encouraged in driveway design</li> <li>3 Front walkways to "decorate" front yard and entry</li> <li>4 Front walkway must connect from front entry to sidewalk and through to street and mailbox, with same material throughout</li> </ol>	

# The Streetscape

Whereas the automobile seems to take precedence in the design of most contemporary homes and communities, in Oak Park the neighborhood's human scale will be the principle design consideration. Thus, the Architectural Code calls for pedestrian-friendly sidewalks and pathways linking together the neighborhood's homes, streets and open spaces. Oak Park residents will have the opportunity to rediscover the nearly forgotten pleasures of the neighborhood stroll, where homes, gardens and parks come back into focus and harmony.

At Oak Park there are no major collector roads or parkways. Oak Park's quiet streets will be built to the least intrusive public roadway standard, with a designated speed limit of 25 mph and generous sidewalks lined by graceful hardwood trees. To eliminate obtrusive driveways and street-oriented garages from the landscape, rear alleyways will serve many homes. In those areas without alleyways, homes will be required to have either detached or attached garages placed well back from the street.

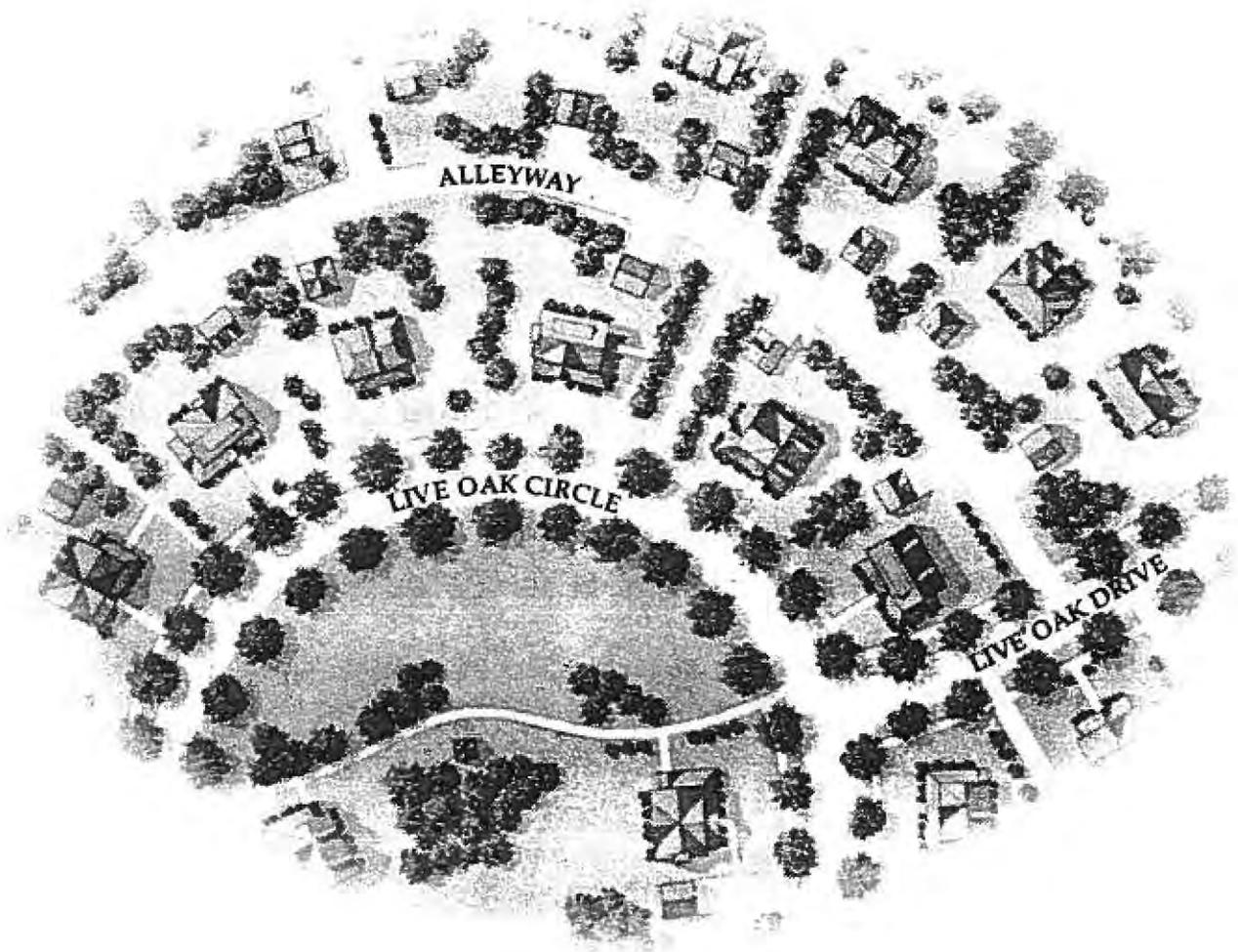
To clearly define Oak Park's distinctive character, its emphasis on design, and its physical boundary, a decorative brick wall has been constructed along the neighborhood's Huguenot Road border. Detached garages built at the rear of each of the homesites abutting the wall shall be incorporated into the wall for visual interest from all vantage points.



## Open Spaces

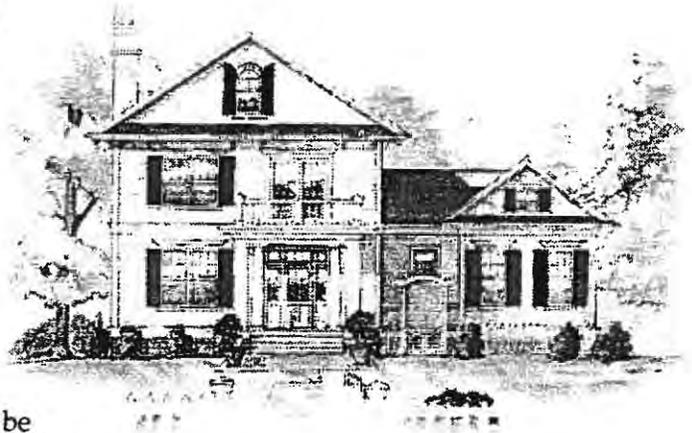
Oak Park will feature two parks within the neighborhood, both of which will be commonly owned and maintained by the residents. One will be an informal 1.3-acre natural area with two streams flowing through mature hardwoods. The second will be the more formal and manicured Central Park, a three-quarter-acre green lawn surrounded by mature trees and gardens at the center of *Live Oak Circle* – offering a welcoming setting for neighborhood events, impromptu gatherings, or just relaxing on a park bench or under a tree.

As can be seen in the Plan, neighborhood pathways will link these open spaces with Oak Park's streets and sidewalks, creating a pleasant variety of routes around and through the neighborhood, lending both a sense of accessibility and security for residents of all ages.



# Neighborhood Areas

The Plan of Oak Park establishes four areas within the neighborhood where consistent housing design principles shall be applied. "Live Oak Lane" is the arching main road into and out of the neighborhood, where most of the homes will be served by rear alleyways and will feature front porches or decorative front stoops. "Live Oak Circle" encloses the Central Park, where home designs will present a formal perimeter surrounding the heart of the neighborhood. "Live Oak Place" and "Wooded Oak Way" will encourage traditional designs that also take advantage of the mature tree cover both inside and adjacent to the neighborhood.

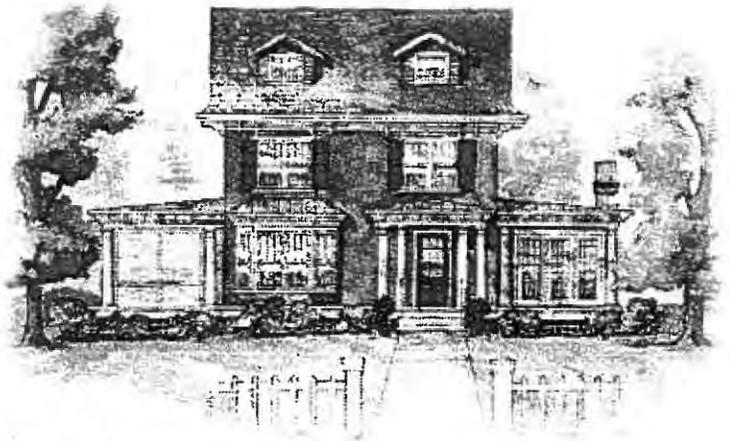


*Live Oak Lane:* The homes on *Live Oak Lane* can be two-story or "cottage" style, drawing inspiration from older Richmond neighborhoods which still inspire today. These homes should be built to the 40-foot front setback line, with porches or front stoops on each home extending up to 10 feet into the setback area and closer to the sidewalk. Any front porch should extend at least three-fourths of the width of the house. The house should be placed to the center of each homesite to promote symmetry along the length of the street. Garages should be in the rear of the house, with a detached unit encouraged in most cases. Garage doors visible from any street must be designed to complement the home in materials and color. Attached garages, when permitted, must always display a different roofline from the main house to appear detached to the greatest extent possible. Homes on *Live Oak Lane* are especially encouraged to feature a front fence next to the sidewalk, with a gate or other entry feature at the front walk's intersection with the sidewalk. It is required to have a front walk directly from the entry of the house to the sidewalk and the mailbox at the street.



*Live Oak Circle:* The essence of the Architectural Code is an acknowledgement of the homes and styles of the past, to which we all seem to have a connection. The homes of *Live Oak Circle* will give a few people a place to design and build a classic rendition of an historically significant Richmond design surrounding the neighborhood's Central Park. Starting with the restored "Royer Farm House" which has stood on the property for most of the last century, *Live Oak Circle* has been conceived as a place to claim the distinct pleasures of being able to own, visit...or just walk by...authentically designed historic Richmond homes in a memorable setting

which honors the past. Many of the design principles for the homes of *Live Oak Circle* are similar to those outlined for the houses along *Live Oak Lane* with respect to setbacks, position on the homesite, and the all important walkway leading directly from the front door to the sidewalk. For the most part, historic home designs along *Live Oak Circle* will be reviewed on a case-by-case basis by the Oak Park Design Review Committee.



*Live Oak Place* and *Wooded Oak Way*: The homes in these areas will remain faithful to the Oak Park Architectural Code's emphasis on natural building materials and traditional design elements, but will allow for more latitude in the incorporation of some contemporary suburban features such as individual driveways and attached garages. However, intrusive elements such as "transitional" architecture, overly prominent garage placements and oversized two-story entry features will be discouraged here as in other areas of the neighborhood in order to promote and maintain Oak Park's commitment to traditional Richmond design.



In contrast to contemporary subdivisions, Oak Park seeks to encourage individualized site plans, house designs and building materials that promote and sustain the traditional vision of "neighborhood" when viewed as a whole. This displays itself in the requirements for houses on both *Live Oak Place* and *Wooded Oak Way* to be located centrally on the homesite and, with some exceptions, set back 40 feet from the front property line, with garages (attached or detached) set back at least 25 feet behind the front line of the home. Attached garages must display architectural separation from the main house to appear detached to the greatest extent possible. Porches are encouraged, as well as front and side fences and gardens.

In contrast to contemporary subdivisions, Oak Park seeks to encourage individualized site plans, house designs and

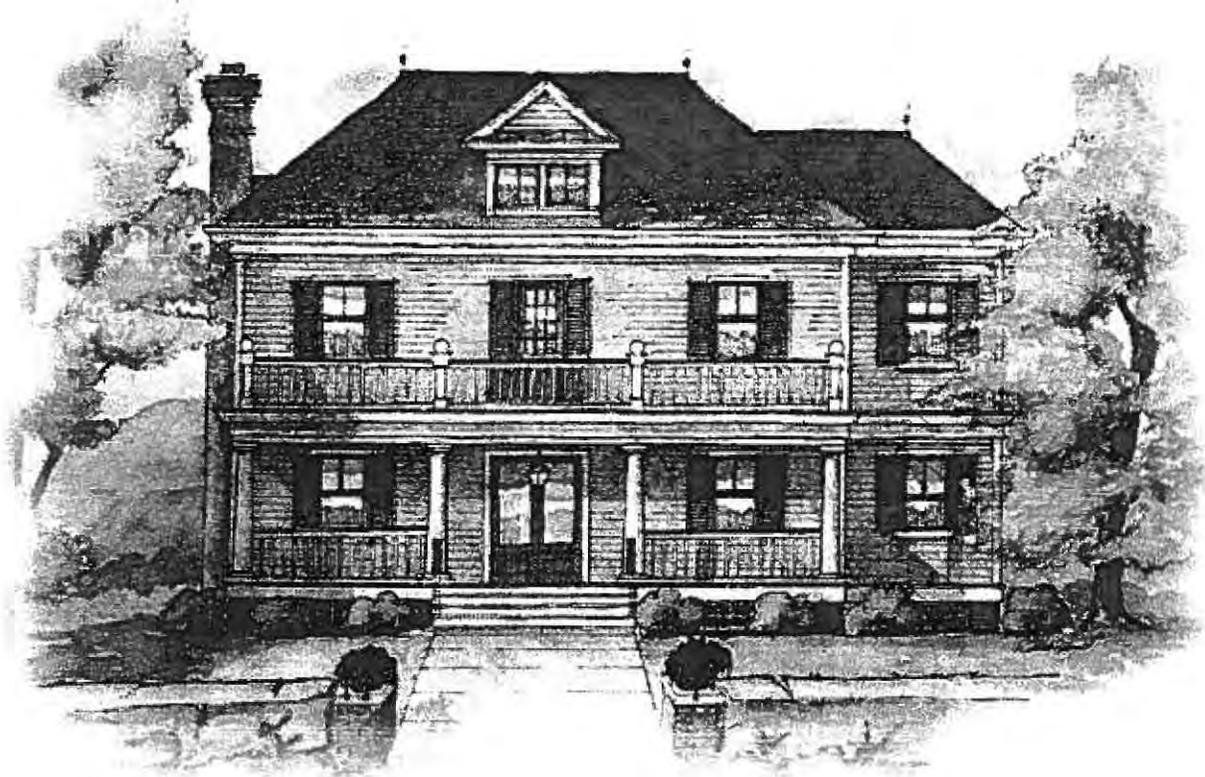
building materials that promote and sustain the traditional vision of "neighborhood" when viewed as a whole. This displays itself in the requirements for houses on both *Live Oak Place* and *Wooded Oak Way* to be located centrally on the homesite and, with some exceptions, set back 40 feet from the front property line, with garages (attached or detached) set back at least 25 feet behind the front line of the home. Attached garages must display architectural separation from the main house to appear detached to the greatest extent possible. Porches are encouraged, as well as front and side fences and gardens.

# Neighborhood Standards

The neighborhood standards set out in this Architectural Code guide the arrangement and design of the buildings in Oak Park. The buildings, in turn, define the spaces around them. Careful thought given to both will add up to a great place to live.

The Plan of Oak Park is designed in all respects to comply with the provisions of the R-15 residential zoning classification of the Chesterfield County Zoning Ordinance. No lot is less than 15,000 square feet in area (about 1/3rd of an acre) and is at least 100 feet wide at the front building setback line. To date, no exceptions or variances from the zoning provisions have been proposed, requested or granted.

The neighborhood standards set out in this Architectural Code are meant to adhere to and complement the County's zoning requirements while, at the same time, created to define more closely the specific parameters for the design of the Oak Park neighborhood.



# THE OAK PARK ARCHITECTURAL CODE

## Neighborhood Standards

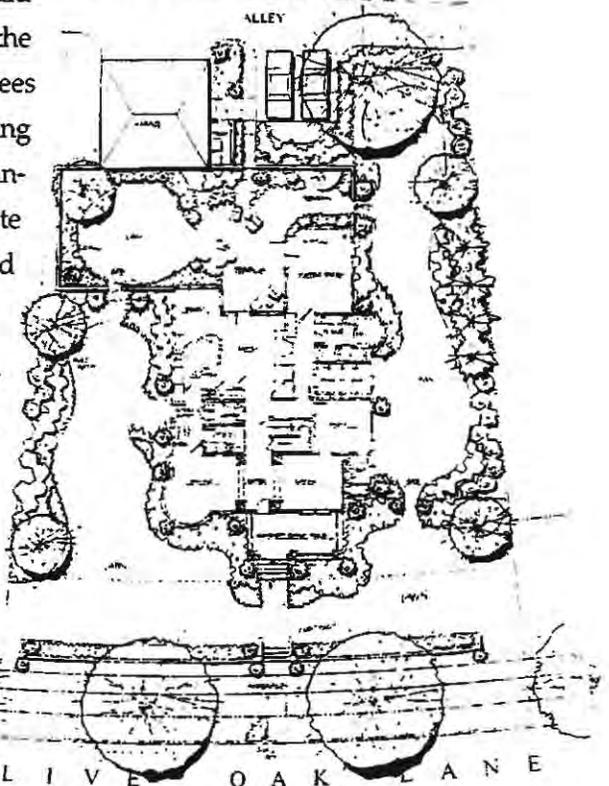
Element	Standard
Process	All building and landscape plans must be submitted to the Oak Park Design Review Committee for adherence to the Oak Park Architectural Code. Variances may be approved based on architectural merit.
House Siting	<ol style="list-style-type: none"><li>1 All houses, with the few exceptions noted on the Buildable Area Plans, shall be centered along the front building setback line of the homesite prescribed by the Chesterfield County Zoning Ordinance. The Buildable Area Plans are available through the Oak Park Design Review Committee.</li><li>2 All houses shall be sited to the front building setback line of each homesite – i.e., a distance of 40 feet from the front property line of the homesite, or at the closest point to the front line where the homesite is 100 feet wide.</li><li>3 The front façade of a house shall be no less than 40% of the width of the homesite at the front setback line.</li><li>4 House sitings on a homesite must accommodate easements which may be on the homesite.</li></ol>
Fencing and Walls	<ol style="list-style-type: none"><li>1 Fencing or walls in the front of a house (plus the side of a corner homesite) must be built no closer to the house than 18 inches inside the sidewalk crossing the homesite.</li><li>2 The location and height of fencing and walls shall conform to the standards set forth by Chesterfield County in its publication entitled "Fences," as modified by the Architectural Code.</li><li>3 All fences and walls shall be constructed of approved materials and designs, including wood, brick or stucco. (PVC, chain link or stockade fences are not acceptable.)</li></ol>
Driveways and Walkways	<ol style="list-style-type: none"><li>1 All houses shall have a walkway constructed of approved materials from the front porch or stoop to the street in front of the house and in line with the entry door of the house.</li><li>2 Front driveways shall be a maximum of 12 feet in width and shall be made of either concrete, exposed aggregate concrete, brick, concrete pavers, stone pavers or approved gravel surfaces.</li><li>3 Rear or sideyard driveways off alleys shall match the alley surface treatment.</li></ol>
Porches and Stoops	<ol style="list-style-type: none"><li>1 Each house built in Oak Park shall have a covered front porch or stoop a minimum of 8 feet and a maximum of 10 feet in depth. Porches and stoops must have 3 exposed sides.</li><li>2 Any front porch shall extend a minimum of 60% of the length of the house façade. Stoops shall be appropriate for the design of the house façade and will not be subject to a specific size criterion.</li><li>3 Under the Zoning Ordinance, a front porch may encroach upon the front yard setback line by up to 10 feet. Thus, a porch or stoop can be built to within 30 feet of the front property line of any homesite. The steps up to the porch are part of the porch for purposes of the setback.</li><li>4 Under the Zoning Ordinance, a porch can also encroach upon the side yard setback line of any homesite by up to 50% of the setback.</li></ol>
Building Height	<ol style="list-style-type: none"><li>1 The first floor elevation of a house shall be no less than 30", but no more than 48", above the top of the curb directly in front of the lot.</li><li>2 Two-story homes shall have a minimum interior ceiling height of 9 feet on the first floor and 8 feet on the second floor.</li><li>3 One-and-one-half story homes shall have a minimum main story ceiling height of 9 feet.</li><li>4 One-story homes shall have a minimum interior ceiling height of 9 feet.</li><li>5 The maximum height of the house shall be 35 feet as required by the Zoning Ordinance – measured as provided therein.</li></ol>
Accessory Buildings	<ol style="list-style-type: none"><li>1 Accessory buildings include detached garages, sheds, outbuildings, greenhouses, and the like.</li><li>2 Each accessory building shall have a maximum footprint of 625 square feet, with a maximum of 1,000 square feet of accessory buildings on any lot.</li><li>3 Accessory buildings have setback rules distinct from the main buildable area of the lot; please consult the Buildable Area Plans available from the Oak Park Design Review Committee.</li><li>4 Accessory buildings over 300 square feet shall have a minimum height to the eave of 11 feet and a maximum height to the eave of 18 feet.</li><li>5 No accessory building may be used as a separate dwelling unit except as permitted under the Zoning Ordinance.</li><li>6 Garages must be set back at least five feet from the edge of the alley easement on any lot served by an alley.</li></ol>
Parking on Lots	<ol style="list-style-type: none"><li>1 Each homesite must accommodate at least 2 off-street parking spaces as required by the Zoning Ordinance.</li><li>2 No trucks, RVs, boats, campers, trailers or similar vehicles may be parked on any lot in Oak Park unless fully enclosed in a garage and out of view from any street or adjacent properties.</li></ol>
Parking on Streets	<ol style="list-style-type: none"><li>1 Subject to local traffic ordinances, parking on the public streets is permitted, except that the prohibitions on trucks, RVs, etc. noted above in "Parking on Lots" shall apply on the public streets as well.</li><li>2 No parking shall be permitted in front of any alley, driveway or pedestrian path access to a public street.</li></ol>
Parking in Alleys	<ol style="list-style-type: none"><li>1 The parking of any vehicle in any alley is strictly prohibited.</li></ol>

# Landscape Standards and Guidelines

In a significant way, Oak Park's look and feel is influenced by the landscaping of its streets and homesites. The Plan of Oak Park, in fact, relies upon each resident's commitment to the landscaping of his or her property at a level consistent with the planning and design of the home itself.

The design of residential landscapes within Oak Park should respond to the homesite size and configuration, the siting of the home on the homesite, drainage patterns, solar orientation, trees and other vegetation on or near the homesite, as well as adjoining uses. Designs should be thoughtfully composed, and not random. Plantings should be massed in groupings of an appropriate size and nature to enhance the homesite, the home, the street and the neighborhood.

Residences should be landscaped in accordance with these standards and guidelines before occupancy. Planting beds, fences, ground cover, hedges and the like are encouraged to frame views to and from the home, as well as to create outdoor spaces within the homesite. Designated lawn areas within each homesite must be sodded and properly irrigated with an automatic underground system. Moisture sensors or rain gauges should be employed to ensure that systems only water when necessary. The area between the homesite and the street shall also be sodded, irrigated and maintained by each owner as part of the homesite. (The Oak Park Civic Association shall maintain the street trees in this area.) All shrubs, ground cover and other planting beds should be mulched with appropriate organic materials (e.g., shredded pine bark).



All landscaped areas must be properly cared for in order to maintain the long-term health and appearance of the neighborhood landscape. Maintenance includes mowing, weeding, watering, pruning, edging, fertilizing, and the removal of dead or diseased plant materials. The use of chemical lawn services is not recommended. Maintenance also entails the upkeep of drainage patterns and facilities on the lot. Native plant species that require little to no irrigation and attract a variety of wildlife are highly encouraged. Further information on these plant materials can be obtained from the Virginia Native Plant Society ([www.vnps.org](http://www.vnps.org)) and the Virginia Department of Conservation & Recreation's Natural Heritage Program ([www.dcr.state.va.us/dnh](http://www.dcr.state.va.us/dnh)). Another great source for information and inspiration is the Lewis Ginter Botanical Garden – located on Lakeside Avenue in Richmond's Northside.

For homes along *Live Oak Lane*, the delineation of a line along the front of the lot within eighteen inches of the sidewalk is encouraged in the form of a hedge, masonry columns, wood pickets or wrought iron fencing – either alone or in combinations – not to exceed 36 inches in height.

# THE OAK PARK ARCHITECTURAL CODE

## Landscape Standards

<b>Minimum Plant Sizes</b>	Shade Trees	3 Inch Caliper
	Ornamental Trees	8 Feet Tall
	Evergreen Trees	8 Feet Tall
	Shrubs - Hedges	4 Feet Tall
	Shrubs - Massing	15 Inches Tall
	Shrubs - Foundation	24 Inches Tall
	Flowers	1 Quart
<b>Recommended Planting List</b>	Wide Canopy Trees	Oak Species
		- Red
		- Willow
		- White
		- Scarlet
		Red Maple
	Tulip Poplar	
	Sycamore	
	American Elm	
	Medium Trees	Blackgum
	London Planetree	
	Southern Magnolia	
	River Birch	
Small Trees	Crepe Myrtle	
	Dogwood Species	
	- Flowering	
	- Silky	
	- Alternate Leaf	
	Eastern Redbud	
	Saucer Magnolia	
	Cherry Species	
	- Pin	
	- Chokecherry	
	- Black	
Hedges	Abelia	
	American Holly	
	Azalea Cultivaus	
	Boxwood	
	Butterfly Bush	
	Camelia	
	Cherry Laurel	
	Cleyera	
	Holly Cultivaus	
	Inkberry	
	Bayberry	
	Privet Species	
	Spiraca	
	Tea Olive	
	Wax Myrtle	
	Nelly Stevens Holly	

*Note: Recommendations only.  
Please consult the Oak Park  
Library for further information  
on landscaping your homesite.*

## Special Homesite Settings

Within each of the areas of the neighborhood, the design of Oak Park supports distinct housing styles and landscape elements on selected homesites which present distinct design opportunities. High visibility homesites (e.g., corner lots) shall exhibit significant "one-of-a-kind" home designs which address both street fronts. Homes that abut the pedestrian pathways crossing the neighborhood shall have a fence and gate constructed next to the pathway — to both define these important links and to clearly separate the common pathway area from the adjacent private homesite. And, as noted above, special consideration has been given to the construction of a decorative wall and landscaping along Huguenot Road, reinforcing the neighborhood's emphasis on design and clearly defining the neighborhood edge. Houses abutting this decorative feature shall have detached garages at the rear of the lot as part of the overall architecture of the wall.

Specific attention shall be paid to these selected homesites as part of the Design Review Process. Initial discussions with the Oak Park Design Review Committee shall stress the importance of addressing the added design considerations of the neighborhood's special homesites.

